



PROPERTY INSPECTION  
**REPORT**

**4321 Sample Drive, Cypress, TX 77429**

INSPECTION PREPARED FOR: John Doe

INSPECTOR: Michael Kovacik Lic 10183

DATE OF INSPECTION: 2/21/2022

YEAR BUILT: 2022



# PROPERTY INSPECTION REPORT FORM

John Doe

*Name of Client*

2/21/2022

*Date of Inspection*

4321 Sample Drive, Cypress, TX 77429

*Address of Inspected Property*

Michael Kovacic

*Name of Inspector*

10183

*TREC License #*

Name of Sponsor (if applicable)

*TREC License #*

## PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. It is important that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

## RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component OR constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

## RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

**Please Note:** Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

## REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;

- an inspection to verify compliance with manufacturer's installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.



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## **NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS**

**Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D).**

**Examples of such hazardous conditions include:**

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

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### **ADDITIONAL INFORMATION PROVIDED BY INSPECTOR**

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I NI NP D

## I. STRUCTURAL SYSTEMS

### A. Foundations

Type of Foundation(s): Slab on grade foundation  
Comments:

**Note:** Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

Performance opinion:

The foundation is performing as intended. No significant problems were observed. All windows/doors were opening/closing inside framework. There was no interior/exterior extensive cracking observed that would deter any foundation deficiencies @ time of inspection. Any door/window/wall deficiencies in this report will be addressed in their appropriate sections.

**Note:** The inspector's opinion is based on visual observations of unobstructed & accessible structural areas @ time of inspection. Future performance of the structure cannot be predicted or warranted. This is a common characteristic of this type of foundation, & of the cosmetic occurrence @ time of inspection.

Slab-on-grade foundations are the most common type of foundation in the Greater Houston Area for residential foundations. When supported by active or expansive soils, this type of foundation will frequently deflect enough to result in cosmetic damage (usually drywall, brick veneer cracking and floor tile cracking) and possibly some minor functional problems such as sticking doors. Any owner of a building founded on a slab-on-grade foundation should be prepared to accept a degree of cosmetic distress and minor functional problems due to foundation movement.

**Suggested Foundation Maintenance & Care:** Drainage must be directed away around foundation perimeter with downward sloped grades. In most cases, covered flooring and/or stored articles prevent recognition of settlement signs – cracking in all most severe cases. It is important to note, this was not a structural engineering survey nor was any specialized testing done of any sub-slab plumbing systems during this limited visual inspection as these are specialized processes requiring excavation. In the event that structural movement is documented, client is advised to consult with a Structural Engineer who can identify causes and determine the necessary steps, if any, should be considered to either rectify structural movement.

**NOTE: Weather conditions, drainage, leakage and other adverse factors**

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are able to affect structures and differential movements are likely to occur. The Inspectors opinion is based upon visual observations of accessible and unobstructed areas of the foundation at the time of inspection. Future performance of the structure cannot be predicted or warranted

Interior garage surface cracking observed across flooring location(s).

**Note:** Areas observed during inspection did not appear to have any bearing upon foundation performance @ this time. See picture(s) below.



*Interior garage surface cracking observed across flooring locations (Cracking did not appear to have any bearing upon foundation performance during this inspection. Recommend monitoring for future performance)*

*Interior garage cracking observed across flooring surface.*

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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**B. Grading and Drainage**

Comments:

**Note:** Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

**Note:** Inspector will not move rugs, furnishings, and equipment or storage items to access areas (i.e. closets) to be inspected.

Water settling area(s) observed along one or more location(s) @ time of inspection.

**Note:** Area(s) should be evaluated by a licensed landscape and/or irrigation (if applicable) contractor. Landscape contractor(s) should determine if additional drainage system and/or reworking of swales are needed to eliminate settling areas. Subsurface irrigation system may possibly be leaking, if applicable, across interior confines of lot if system is in place during inspection. Settling areas may be conducive to mosquito breeding

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**and/or other health hazard concerns. See picture(s) below.**

**Soil to brick/siding contact observed along one or more exterior location(s).**

**Note: Soil/mulch bed areas should be lowered to provide a clearance of 4 inches between the surface of the soil and the lower edge of the exterior veneer @ time of inspection. Soil in contact with the veneer allows easy access to the wall cavity and framing to insects. This situation also allows moisture to penetrate into the framing and interior wall coverings and floor coverings. The soil should be graded to prevent water from standing next to the foundation.**



*Water settling observed along back left swale*



*Soil to brick/siding contact observed along one or more exterior location(s).*

**C. Roof Covering Materials**

Type(s) of Roof Covering: Asphalt composition shingle  
 Viewed From: Ladder • Ground with binoculars  
 Comments:

**Note:** Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

**Note:** The inspector is not required to inspect from the roof level if; in the inspectors reasonable judgement, the inspector cannot safely reach and/or stay on the roof without significant damage to the roof covering materials.

**Note:** Asphalt or composition shingles have a service life from {15-30} years depending upon the shingle quality, installation and maintenance. If shingles begin to lose the granular covering and curling; the roof should typically be considered for replacement. No more than {2} layers of asphalt shingles should be installed at one time.

**Note:** The surface of a roof begins to deteriorate as soon as it is placed into service and exposed to the elements. The degree of deterioration accelerates with the age of the roof and cannot be determined accurately by



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a visual inspection. Roof leaks can and may occur at any time, regardless of the age of the roof, and cannot be accurately predicted. If roof leaks do occur, their presence does not necessarily indicate the need for total replacement of the roof coverings. Responsibility for future performance of the roof is specifically excluded from this report.

**Note:** Roofs/covers are subject to leak at any time. No guarantee is made by the inspector that the roof will not leak in the future.

Some shingles appear loose, missing, damaged, curling and/or lifting along one or more exterior location(s).

**Note:** Shingles should be appropriately set across covering location to eliminate moisture, organic growth and/or other potentially damage across underside of these areas. See picture(s) below.

Compromised roofing vents/stacks observed @ one or more location(s).

**Note:** Current standards mandate all plumbing vents stacks extend a minimum of {6"} above the roof

Daylight exposure observed around one or more attic roofing penetration(s).

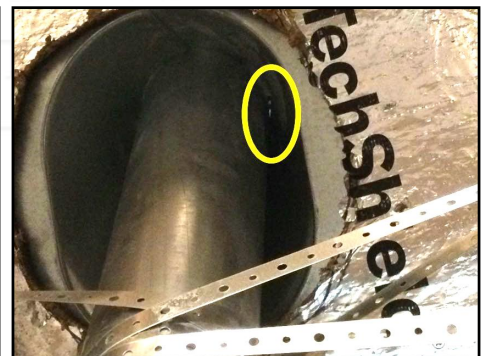
**Note:** Sealing around these penetrations will prevent moisture from seeping around diameter piping, & eliminating moisture from potentially damaging roof decking, insulation, drywall, etc. along interior attic. It is recommended to have all penetrations sealed along exterior prior to acceptance of property. See picture(s) below.



*Lifted shingle along front right exterior*



*(Oval) venting appears to be below standard height over trim at back middle left; (Arrow) Protrusion observed near valley area (Recommend a framing and/or roofing contractor for further evaluation)*



*Daylight observed around furnace flue piping penetration*

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**D. Roof Structure and Attics**

**Viewed From: Attic**  
**Approximate Average Depth of Insulation: 12+" across accessible attic flooring locations**  
**Comments:**

**Note:** Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

**Note:** Inspector will not move rugs, furnishings, and equipment or storage items to access areas (i.e. closets) to be inspected.

**Exposed opening observed along interior garage attic entrance location.**

**Note:** Attic ladder was present inside garage, as proper access way should be installed across attic opening. See picture below.



*Exposed opening observed along garage attic (Ladder inside box was present along back wall during inspection)*

**E. Walls (Interior and Exterior)**

**Comments:**

**Note:** Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

**Note:** Condition of walling material, wood framing, insulation, "moisture barriers", electrical wiring, plumbing piping, gas lines and etc. between interior and exterior wall surfaces is unknown and not accessible for inspection.

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**Note:** Defective drywall from China has been used in construction of some homes during this decade. Identifying this material is beyond the scope of this home inspection. Chemical analysis (testing) of the material could be used to determine if the drywall is defective. See articles regarding this issue using an internet search and/or other relative periodical relating to "defective Chinese drywall."

**Note:** Inspector will not move rugs, furnishings, and equipment or storage items to access areas (i.e. closets) to be inspected.

The areas between the exterior cladding / veneer and ALL wall penetrations need to be properly sealed such as utility connections, downspouts, hose bibs, lighting fixtures, receptacles, etc.

**Note:** Sealant provides means for moisture barrier(s) across affected areas, as well as, air tight seal between interior/exterior wall penetration/location areas. See picture(s) below.



*Exposed gaps observed along back middle left wall (Recommend a stucco contractor for further evaluation)*



*Drywall cracking observed throughout home (Downstairs living room top area pictured, as client should advise with builder regarding all cosmetic and drywall cracking areas prior to acceptance of property)*

**F. Ceilings and Floors**

**Comments:**

**Note:** Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

**Note:** Inspector will not move rugs, furnishings, and equipment or storage items to access areas (i.e. closets) to be inspected.

Previous repairs observed along garage ceiling location.

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**Note: Areas of concern may be from potential leaking and/or drywall repairs from other cosmetic occurrences (ex: settlement) across these areas. All areas affected should be evaluated by client and/or from seller's disclosure. See pictures below.**



*Previous repairs noted along interior garage ceiling*

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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**G. Doors (Interior and Exterior)**

Comments:

**Note:** Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

**Note:** Inspector will not move rugs, furnishings, and equipment or storage items to access areas (i.e. closets) to be inspected.

**All components were found to be performing and in satisfactory condition at the time of the inspection.**

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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**H. Windows**

Comments:

**Note:** Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

**All window components were found to be performing and in satisfactory condition at the time of the inspection.**

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**I. Stairways (Interior and Exterior)**

Comments:

**Note:** Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

A handrail and/or baluster was observed to be loose and should be corrected as necessary for safety concerns. See picture(s) below.



*Loose baluster observed along handrail location (Recommend securing spindle along location)*

**J. Fireplaces and Chimneys**

**K. Porches, Balconies, Decks, and Carports**

**L. Other**

Comments:

**Note:** Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

Previous concrete sidewalk repair noted.

**Note:** Area was blocked off, as form boards should be removed and soil may be needed along edge locations once form boards are removed. See picture below.

Upstairs window blind not functioning properly.

**Note:** Recommend a window blind contractor for further evaluation. See

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picture(s) below.

Kitchen cabinet drawer not closing properly in front of cooktop.

**Note:** Cabinets are not part of the inspection, as this appears to be a safety hazard due to the cabinet protrusion. Recommend a cabinet contractor for further evaluation regarding all cabinet imperfections. See picture(s) below.



Previous repair noted at front walkway (Footprint noted along edge location)



Upstairs game room window blind not functioning properly



Kitchen cabinet not closing properly

## II. ELECTRICAL SYSTEMS

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### A. Service Entrance and Panels

Panel Locations: Disconnect and distribution panel(s) located @ right exterior wall location(s).

Comments:

**Note:** Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

**Note:** Superior Real Estate Inspections (SREI) accepts no responsibility or liability for any omission in its inspection or the report related to the defects or irregularities which are not reasonably visible at the time of inspection or which relate to components of the home. In regards to plumbing, electrical & gas lines, it should be noted that we are not plumbers or electricians & any comment made is not that of a plumbing or electrical contractor. This does not constitute a warranty of any kind. If there is a question or concern about proper bonding/grounding of plumbing, electrical, gas lines, or if any lines are Corrugated Stainless Steel Tubing (CSSI), SREI recommends that client hire/advise with an electrical or plumbing contractor to inspect such concern.

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Dryer and/or oven breakers do not appear to be **GFCI** breaker unit(s).

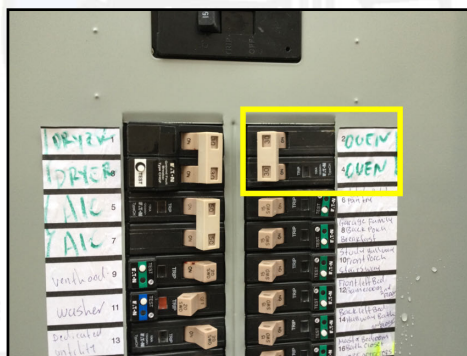
**Note: The NEC (National Electrical Code) of 2020 calls for dryer and oven breakers to have this protection. It is recommended to have an electrical contractor further evaluate this issue.**

Arc-fault breakers **{AFCI}** did not appear function properly across one or more location(s).

**Note: Beginning in 2008; AFCI breakers are required in the panel for 15A/20A branch circuits providing power to family rooms, dining rooms, living rooms, libraries, dens, bedrooms, sunrooms, recreation rooms, closets and hallways. ARCI breakers provide fire protection by opening the circuit when an arcing fault is detected. Breaker labeled "Washer" would not reset during evaluation. Recommend an electrical contractor for further evaluation. See picture below.**



*Right exterior distribution/disconnect panel inspected*



*Oven breaker does not appear to be a GFCI breaker (Recommend an electrical contractor for further evaluation)*



*Breaker labeled for "Washer" does not appear to reset during evaluation*

**B. Branch Circuits, Connected Devices, and Fixtures**

Type of Wiring: Copper wiring  
Comments:

**Note: Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:**

**Note: Inspector will not move rugs, furnishings, and equipment or storage items to access areas (i.e. closets, electrical panels, attic spaces, etc.) to be inspected.**

The GFCI (ground fault circuit interrupter) breaker not functional @ one or more location(s).

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**Note: GFCI protection is required on 15A/20A circuits providing power to kitchens, bathrooms, garages, laundry rooms, exterior receptacles, pools, spas and whirlpool tubs. GFCI receptacles are required in the kitchen within {2'} of the sink and bathroom within {3'} of the sink edge.**

One or more bulbs inside/outside home not functional @ this time.

**Note: Recommend replacements and/or further evaluation of fixtures if bulb(s) does not illuminate unit(s).**

Inadequate smoke alarm coverage was observed @ time of inspection.

**Note: It is recommended that additional smoke & carbon monoxide detectors be installed in accordance with current building standards. The NFPA {National Fire and Protection Agency} recommends one smoke alarm on each level, every bedroom and adjoining hallway per compliance. For additional information regarding detectors, please review the "TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES" previous discussed in this inspection report.**



*Utility room receptacle not GFCI protected (Recommend an electrical contractor for further evaluation)*

*Smoke/carbon monoxide detector not present at back upstairs bedroom*

**C. Other**

**Comments:**

**Note: Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:**

**Note: Alarm and security systems were not part of the inspection.**

**Bonding clamp and grounding electrodes were observed along pictured areas below.**

**Electrical Disconnect adhesive was not present along right exterior panel.**



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**Note: Adhesive should be affixed to panel trim illustrating location of disconnect for first responders. Recommend an electrical contractor for further evaluation.**



*Bonding/grounding observed around gas meter piping*

### III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>A. Heating Equipment</b>
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Type of Systems: Central Forced Air System

Energy Sources: Gas

Comments:

**Note:** Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

**Manufacturer:** Carrier. Specifications are pictured below for unit(s).

Please note that to properly inspect the heat exchanger; the unit must be physically dismantled and heat exchangers removed for examination. Due to the limitations of the Texas Real Estate Commission {TREC}; this procedure is prohibited and the inspection of the heat exchanger was limited

**The unit appeared to be functioning as intended at the time of the inspection.**

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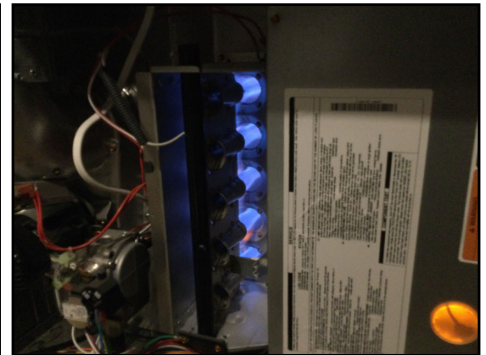
I   NI   NP   D



*Attic furnace unit inspected*



*Unit manufacturer specifications*



*Proper flame color observed along burner compartment*

**B. Cooling Equipment**

Type of Systems: Central Forced Air System  
 Comments:

**Note:** Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

**Note:** The exact age of the HVAC system could not be determined. Inquire with Seller on age of HVAC equipment. This” limited visual inspection” does not provide a complete evaluation of the HVAC system and does not address remaining life of the components.

**Note:** Additional information should be obtained prior to the end of the option period on previous maintenance and repairs/replacements to the system, from sellers.

**Note:** The system has not been dismantled or checked for proper sizing of the system to efficiently cool or heat the house. The system has not been checked to insure all components of the system are “compatible” and properly sized, which is beyond the scope of this inspection.

**Note:** If no maintenance on A/C systems has been performed in the last year, It is “highly recommended” that “HVAC systems” are further evaluated prior to the end of the option period by an HVAC contractor.

**Note:** Historically HVAC systems have an average life of 10 to 12 years. Recommend buyer inquire as to age of HVAC (components). This knowledge and/or information will allow the buyer to estimate the remaining life expectancy of the components and plan accordingly. Some HVAC have a longer shelf life, check with the appliance manufacturer or HVAC

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contractor for more information.

**Note:** Unit(s) located along exterior right was a(n) Carrier product. Pictured below is the manufacturer's specifications for unit(s) inspected.

**Note:** Superior Real Estate Inspections (SREI) accepts no responsibility or liability for any omission in its inspection or the report related to the defects or irregularities which are not reasonably visible at the time of inspection or which relate to components of the home. In regards to plumbing, electrical & gas lines, it should be noted that we are not plumbers or electricians & any comment made is not that of a plumbing or electrical contractor. This does not constitute a warranty of any kind. If there is a question or concern about proper bonding/grounding of plumbing, electrical, gas lines, or if any lines are Corrugated Stainless Steel Tubing (CSST), SREI recommends that client hire/advise with an electrical or plumbing contractor to inspect such concern.

**Downstairs:** Supply - 50 degrees; Return - 68 degrees; delta T temperature - 18 degrees

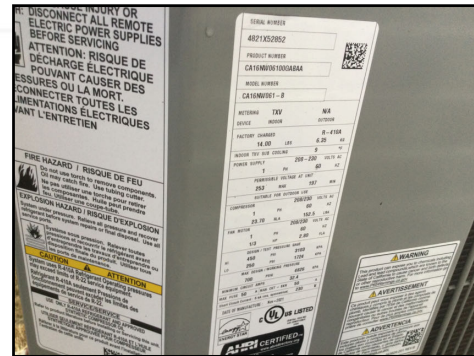
**Note:** Delta T temperature was between 15 - 22 degrees @ time of inspection. It is recommended to have yearly maintenance/service regarding cooling system to maintain proper compliance temperatures and/or other proper functioning.

**Upstairs:** Supply - 74 degrees; Return - 76 degrees; delta T temperature - 2 degrees.

**Note:** Delta T temperature was not between 15 - 22 degrees @ time of inspection. Downstairs appeared to function properly, as upstairs thermostat cooling system was evaluated with a significant drop across differential. Unit(s) should be evaluated for compliance respective temperature prior to acceptance of property.



*Right exterior condenser unit inspected*



*Unit manufacturer specifications*

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**C. Duct Systems, Chases, and Vents**

Comments:

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Attic media filter(s) are dirty @ HVAC unit location(s).

**Note:** Filters should be changed accordingly with manufacturer's standards. Dirty filters may potentially contribute to dirty HVAC components, causing possible malfunctioning and/or compromising components.



*Filter dirty along media access location*

**D. Other**

**IV. PLUMBING SYSTEMS**

**A. Plumbing Supply, Distribution System and Fixtures**

**Water meter location:** Not located within confines of lot and/or inaccessible.  
**Main Water Supply Valve Location:** Left interior garage wall  
 Comments:

**Note:** Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

**Note:** This inspection does not determine the age, composition or condition of the inaccessible and/or non-visual plumbing pipes. Client

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I	NI	NP	D
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should be made aware that a complete inspection of the gas, waste and water supply piping using video cameras, hydrostatic and supply line testing will reduce risk as underground plumbing repairs may be expensive.

**Note:** No leaking/corrosion was detected around accessible drains, tub/shower surfaces, walls, etc. @ time of inspection unless otherwise illustrated below. The inspector is limited across accessible areas as interior wall areas were not observed @ this time. Future performance cannot be warranted or predicted.

**Note:** Superior Real Estate Inspections (SREI) accepts no responsibility or liability for any omission in its inspection or the report related to the defects or irregularities which are not reasonably visible at the time of inspection or which relate to components of the home. In regards to plumbing, electrical & gas lines, it should be noted that we are not plumbers or electricians & any comment made is not that of a plumbing or electrical contractor. This does not constitute a warranty of any kind. If there is a question or concern about proper bonding/grounding of plumbing, electrical, gas lines, or if any lines are Corrugated Stainless Steel Tubing (CSST), SREI recommends that client hire/advise with an electrical or plumbing contractor to inspect such concern.

**Type of Supply Piping Material:** PEX material observed across visible locations

**Water meter not located during the inspection.**

**Note:** Water was present inside home across all applicable areas, as meter may be buried across soil. Recommend locating and providing trim with cover across designated area.

**Low water pressure observed along one or more interior location(s).**

**Note:** Various water sources appeared to have low pressure @ master & hall bath locations. All areas should be evaluated for proper functional flow/pressure across these areas. This should be evaluated prior to acceptance of property.



**Water shutoff appears to be located along left interior garage wall**      **Upstairs Jack and Jill sink appears to have low water pressure**

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**B. Drains, Wastes, and Vents**

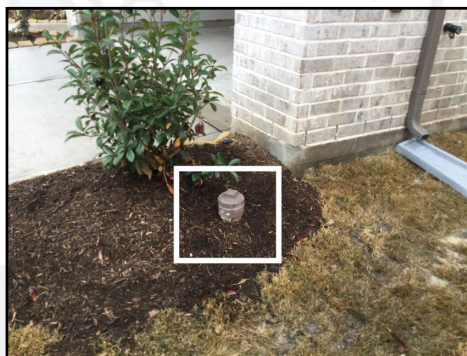
Comments:

**Note:** Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

**Note:** Testing of utility room drainage system is beyond the scope of this inspection. It is recommended to have unit evaluated prior to closing and/or acceptance of property.

Type of Drain Piping Material: **PVC** across all visible areas

**Note:** The exterior main clean out was located @ the front of the structure. For observatory purposes only. See picture below.



*Sewer tap observed along front exterior*

**C. Water Heating Equipment**

Energy Source: Water heater is natural gas • Water heater(s) located in the attic

Capacity: 2 units x 50 gallons

Comments:

**Note:** Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

**Note:** Superior Real Estate Inspections (SREI) accepts no responsibility or liability for any omission in its inspection or the report related to the defects or irregularities which are not reasonably visible at the time of inspection or which relate to components of the home. In regards to plumbing, electrical & gas lines, it should be noted that we are not plumbers or electricians & any comment made is not that of a plumbing or electrical contractor. This does not constitute a warranty of any kind. If

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I NI NP D

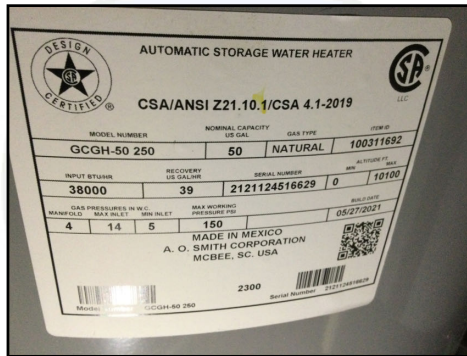
there is a question or concern about proper bonding/grounding of plumbing, electrical, gas lines, or if any lines are Corrugated Stainless Steel Tubing (CSST), SREI recommends that client hire/advise with an electrical or plumbing contractor to inspect such concern.

TPR (Temperature Pressure Relief) valve not accessed due to potential liability concerns.

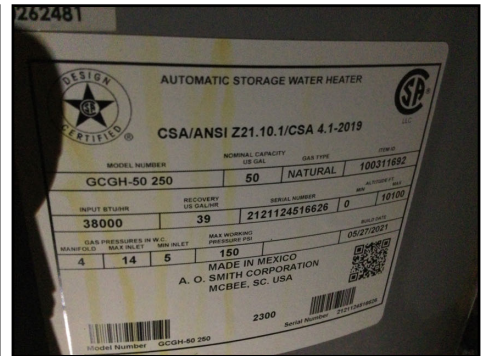
Note: Any home occupied and/or if valve is compromised, in accordance with, any potential malfunction and/or harm to dwelling is not evaluated. Proper evaluation should be done through a licensed plumber.



Attic water heater units inspected



Left unit manufacturer specifications



Right unit manufacturer specifications



TPR drainage lines not evaluated due to potential liability concerns

D. Hydro-Massage Therapy Equipment

E. Gas Distribution Systems and Gas Appliances

Location of Gas Meter:

- Right exterior wall

Type of Gas Distribution Piping Material:

- Black pipe

Comments:

Note: Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due

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diligence process and/or servicing or items noted for information include but are not limited to:

Bonding/grounding appeared to be set along gas meter piping during inspection.



*Gas meter located along right exterior*

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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**F. Other**

Comments:

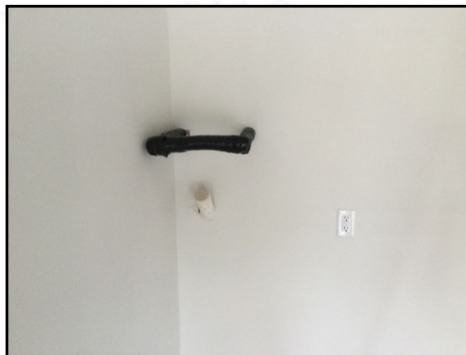
Note: Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

Gouged/chipped surface(s) observed across one or more interior tub surfaces.

Note: Area(s) of concern did not appear to penetrate through surface(s) during inspection, as surface areas affected should be evaluated by tub manufacturer and/or other qualified contractor(s). See picture below.



*PSI appears to be within 71 - 75 range*



*Interior garage plumbing components noted*



*Gouged observed along interior primary tub*



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**V. APPLIANCES**

**A. Dishwashers**

**Comments:**

**Note:** Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

**Manufacturer:** General Electric

**The dishwasher was found to be performing and satisfactory condition at the time of the inspection.**



*Kitchen dishwasher unit inspected*



*Unit manufacturer specifications*

**B. Food Waste Disposers**

**Comments:**

**Note:** Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

**Unit was operational and functional at the time of the inspection.**

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I	NI	NP	D
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*Kitchen sink disposer unit inspected*

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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**C. Range Hood and Exhaust Systems**

Comments:

Note: Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

One or more of the light bulbs not functional

**Note: Recommend installation of bulb and/or other evaluations from appliance company if bulb does not illuminate above cook top.**



*Kitchen exhaust vent lighting not functional*

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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**D. Ranges, Cooktops, and Ovens**

Comments:

Note: Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

Oven(s): Electric

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D=Deficient

I	NI	NP	D
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**Cook top(s): Gas**

**Manufacturer: General Electric**

The oven was tested @ {350} degrees for a {20} minute period & met the preset temperature. Temperature measured was between 336 - 345 degrees @ time of inspection. Standards call for temperature to be between 325 - 375 degrees.

**Oven(s) was functional at the time of the inspection.**

**Cook top(s) was functional at the time of the inspection.**



***Kitchen cooktop unit inspected***



***Kitchen oven unit inspected***



***Unit manufacturer specifications***



***Temperature measured inside oven when set to 350 degrees***

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I    NI    NP    D

**E. Microwave Ovens**



*Microwave unit not present during inspection*

**F. Mechanical Exhaust Vents and Bathroom Heaters**

Comments:

Note: Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

Upstairs bath fan not functional during inspection.

**Note: Recommend an HVAC contractor for further evaluation. See picture below.**



*Unit not functional at upstairs hall bath*

**G. Garage Door Operators**

Comments:

Note: Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include

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but are not limited to:

The overhead garage door{s} were functional at the time of the inspection.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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### H. Dryer Exhaust Systems

Comments:

Note: Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

Could not fully inspect the dryer vent as it is enclosed in cabinetry or within the wall cavity.

Note: Piping was not viewed entirely and/or tested from initial to end termination points. It is recommended to have a licensed HVAC contractor to verify piping length and/or other functioning components prior to acceptance of property.

The dryer exhaust vent is required to terminate at the exterior of the structure. The vent pipe should not exceed {25 ft} for electric dryers and typically {35 ft} for gas units. Metal ducting is recommended and there should be no screws penetrating the duct that may collect lint. The dryer vent should terminate outside with a backdraft damper and no screens.

Note: The vent pipe should not exceed {25 ft} for electric dryers and typically {35 ft} for gas units. Metal ducting is recommended and there should not be screws penetrating the duct that may collect lint. The dryer vent should terminate outside with a backdraft damper & no screens. Piping length should be evaluated by an HVAC contractor. See picture(s) below.



<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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### I. Other

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**VI. OPTIONAL SYSTEMS**

**A. Landscape Irrigation (Sprinkler) Systems**

**Comments:**

**Note:** Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

**NOTE:** Some municipalities now require "rain and freeze sensors" be installed on all new and pre-existing sprinkler systems. Please contact your local municipality for rain and freeze sensor requirements as this Inspector does not maintain a list for each township and/or governing authority

**Note:** Sprinkler system had 7 functional zones @ time of inspection.

Various head(s) spraying along exterior wall(s).

**Note:** Recommend adjustments to spray off exterior wall location(s).



*Various head(s) spraying along exterior walls (Recommend adjustments to spray away from exterior brick wall)*



*Interior garage irrigation console*

**B. Swimming Pools, Spas, Hot Tubs, and Equipment**

**C. Outbuildings**

**D. Private Water Wells (A coliform analysis is recommended)**

**E. Private Sewage Disposal Systems**

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I	NI	NP	D
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<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>F. Other Built-In Appliances</b>
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<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>G. Other</b>
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