



PROPERTY INSPECTION
REPORT

17376 Another Street Drive, Humble, TX 77346

INSPECTION PREPARED FOR: Another Client

INSPECTOR: Michael Kovacik Lic 10183

DATE OF INSPECTION: 4/21/2022

YEAR BUILT: 2007



PROPERTY INSPECTION REPORT FORM

<u>Another Client</u>	<u>4/21/2022</u>
<i>Name of Client</i>	<i>Date of Inspection</i>
<u>17376 Another Street Drive, Humble, TX 77346</u>	
<i>Address of Inspected Property</i>	
<u>Michael Kovacik</u>	<u>10183</u>
<i>Name of Inspector</i>	<i>TREC License #</i>
<u> </u>	<u> </u>
<i>Name of Sponsor (if applicable)</i>	<i>TREC License #</i>

PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. It is important that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component OR constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

Please Note: Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;

- an inspection to verify compliance with manufacturer's installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.



INTERNACHI® CERTIFIED
SUPERIOR
REAL ESTATE INSPECTIONS
— PLLC —

NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS

Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D).

Examples of such hazardous conditions include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

SUPERIOR
REAL ESTATE INSPECTIONS
— PLLC —

Table Of Contents

STRUCTURAL SYSTEMS	5-15
ELECTRICAL SYSTEMS	16-18
HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS	19-22
PLUMBING SYSTEMS	23-28
APPLIANCES	29-32
OPTIONAL SYSTEMS	33-34



INTERNACHI® CERTIFIED
SUPERIOR
REAL ESTATE INSPECTIONS
— PLLC —

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

I. STRUCTURAL SYSTEMS

A. Foundations

Type of Foundation(s): Slab on grade foundation
Comments:

Note: Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

Performance opinion:

The foundation is performing as intended. No significant problems were observed. All windows/doors were opening/closing inside framework. There was no interior/exterior extensive cracking observed that would deter any foundation deficiencies @ time of inspection. Any door/window/wall deficiencies in this report will be addressed in their appropriate sections.

Note: The inspector's opinion is based on visual observations of unobstructed & accessible structural areas @ time of inspection. Future performance of the structure cannot be predicted or warranted. This is a common characteristic of this type of foundation, & of the cosmetic occurrence @ time of inspection.

Slab-on-grade foundations are the most common type of foundation in the Greater Houston Area for residential foundations. When supported by active or expansive soils, this type of foundation will frequently deflect enough to result in cosmetic damage (usually drywall, brick veneer cracking and floor tile cracking) and possibly some minor functional problems such as sticking doors. Any owner of a building founded on a slab-on-grade foundation should be prepared to accept a degree of cosmetic distress and minor functional problems due to foundation movement.

Suggested Foundation Maintenance & Care: Drainage must be directed away around foundation perimeter with downward sloped grades. In most cases, covered flooring and/or stored articles prevent recognition of settlement signs – cracking in all most severe cases. It is important to note, this was not a structural engineering survey nor was any specialized testing done of any sub-slab plumbing systems during this limited visual inspection as these are specialized processes requiring excavation. In the event that structural movement is documented, client is advised to consult with a Structural Engineer who can identify causes and determine the necessary steps, if any, should be considered to either rectify structural movement.

NOTE: Weather conditions, drainage, leakage and other adverse factors

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

are able to affect structures and differential movements are likely to occur. The Inspectors opinion is based upon visual observations of accessible and unobstructed areas of the foundation at the time of inspection. Future performance of the structure cannot be predicted or warranted

Foundation corner cracking observed along one or more location(s).

Note: Cracking did not appear to have any bearing upon foundation performance @ this time, as this should always be monitored for future performance. Future performance cannot be warranted or predicted. See picture(s) below.

Potential previous foundation repairs observed along one or more exterior location(s).

Note: Recommend client to advise with seller in regards to all foundation repairs. Area of concern appears to be cosmetic in my opinion during inspection. See picture(s) below.



Foundation corner cracking observed along front right exterior



Potential previous foundation repairs observed along one or more exterior location(s).

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
-------------------------------------	--------------------------	--------------------------	-------------------------------------

B. Grading and Drainage

Comments:

Note: Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

Trees/limbs appear to be close to structure.

Note: Limbs and/or other branches should be trimmed 5' from home to eliminate potential for animals to gain access to roof level and/or inside attic location. Animals may penetrate exterior eave components and/or other exterior material, providing damage to exterior material locations and/or moisture penetrations across these areas.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
---	----	----	---

Discontinuous drainage from gutter downspout to extensions along one or more location(s).

Note: Recommend properly connecting both units to provide continuous drainage. See picture(s) below.



Trees/limbs appear to be close to structure.



Disconnect observed between front gutter downspout and extension

C. Roof Covering Materials

Type(s) of Roof Covering: Asphalt composition shingle

Viewed From: Roof

Comments:

Note: Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

Note: The inspector is not required to inspect from the roof level if; in the inspectors reasonable judgement, the inspector cannot safely reach and/or stay on the roof without significant damage to the roof covering materials.

Note: Asphalt or composition shingles have a service life from {15-30} years depending upon the shingle quality, installation and maintenance. If shingles begin to lose the granular covering and curling; the roof should typically be considered for replacement. No more than {2} layers of asphalt shingles should be installed at one time.

Note: The surface of a roof begins to deteriorate as soon as it is placed into service and exposed to the elements. The degree of deterioration accelerates with the age of the roof and cannot be determined accurately by a visual inspection. Roof leaks can and may occur at any time, regardless of the age of the roof, and cannot be accurately predicted. If roof leaks do occur, their presence does not necessarily indicate the need for total replacement of the roof coverings. Responsibility for future performance of the roof is specifically excluded from this report.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

Note: Roofs/covers are subject to leak at any time. No guarantee is made by the inspector that the roof will not leak in the future.

Potential previous repairs observed one or more exterior location(s).

Note: Color variations and shingle composition indicate possible repairs to the roof. Several areas observed during the inspection, as well as, significant granule loss observed. Covering appears to be original roof, in my opinion, as a roofing contractor should further evaluate all roofing components prior to acceptance of property. See pictures below.

Dirt/debris observed across exterior covering and/or interior gutter system.

Note: Recommend removing debris from the roof covering and/or gutter system to eliminate damming and/or other damage across affected areas.

Some shingles appear loose, missing, damaged, curling and/or lifting along one or more exterior location(s).

Note: Shingles should be appropriately set across covering location to eliminate moisture, organic growth and/or other potentially damage across underside of these areas. See picture(s) below.

Daylight exposure observed around one or more attic roofing penetration(s).

Note: Sealing around these penetrations will prevent moisture from seeping around diameter piping, & eliminating moisture from potentially damaging roof decking, insulation, drywall, etc. along interior attic. It is recommended to have all penetrations sealed along exterior prior to acceptance of property. See picture(s) below.

Roofing material in contact with combustible material @ furnace location(s).

Note: Standards call for 1" diameter separation around all furnace flue locations for fire safety measures. Recommend removing excess material around piping to be within compliance. See picture(s) below.

Significant granule loss observed across several shingle locations @ this time.

Note: Granule loss may signify compromised life across covering location. Granules are set across top coat of asphalt composition shingles when placed atop covering. Once granule loss and/or fiberglass edge exposure has been confirmed, shingle life may be limited across these areas. It is recommended to have a roofing contractor evaluate covering and/or other functional components prior to acceptance of property. See picture(s) below.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Potential previous repairs observed along right exterior



Potential previous repairs observed along back middle exterior



Potential previous repairs observed along back exterior



Lifted shingles across several exterior locations



Exposed gap observed along back ridge



Significant granule loss observed across several shingle locations @ this time.



Debris damming observed along left and right connections (Recommend roofing contractor for further evaluation of coverings and all other respective components)



Dirt/debris observed across exterior covering and/or interior gutter system.



Daylight observed around both water heater flue piping penetrations

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Back exterior furnace flue piping penetration in contact with roofing material

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
-------------------------------------	--------------------------	--------------------------	-------------------------------------

D. Roof Structure and Attics

Viewed From: Attic

Approximate Average Depth of Insulation: Variance of 1" - 12" observed across accessible attic flooring locations.

Comments:

Note: Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

Note: Inspector will not move rugs, furnishings, and equipment or storage items to access areas (i.e. closets) to be inspected.

The attic insulation was observed to be covering the recessed lighting fixtures & should be removed from these areas to prevent overheating

Insulation depth appears to be below standard level across accessible flooring locations.

Note: Standards call for attic flooring to have insulation depth of 12" for attic flooring locations adjacent to habitable spacing locations. The attic insulation is lower than typical and it is recommended that additional insulation be added to achieve the minimum of an R-30 rating.

Interior attic vertical walls not insulated properly.

Note: Bay areas directly adjacent to interior habitable locations should be properly insulated per standards. Areas in the attic should be insulated and/or properly strapped to eliminate movements along these areas. See picture(s) below.

Nails and/or other safety hazards observed across one or more location(s).

Note: Recommend removing all substances/fasteners across platforms

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
---	----	----	---

and/or other attic areas to eliminate potential safety hazards. Walkway(s) should be present along all attic pathways to mechanicals and/or other areas. See picture(s) below.

Could not access one or more location(s) inside attic due to inaccessibility and/or other liability concerns.

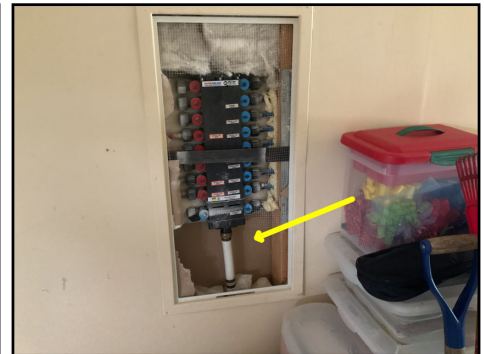
Note: Attic spacing across areas were not evaluated accordingly during inspection. See picture(s) below.



The attic insulation was observed to be covering the recessed lighting fixtures & should be removed from these areas to prevent overheating



Deficient insulation depth observed at right of attic walkway platform



Deficient insulation areas observed along both wall areas behind plumbing manifold



(Arrows) Storage observed across several interior attic areas; (Oval) Unsupported attic landing near opening (Safety hazards observed)



Storage observed across several interior attic locations (Areas below storage were not accessible during the inspection)

E. Walls (Interior and Exterior)

Comments:

Note: Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

Note: Condition of walling material, wood framing, insulation, “moisture barriers”, electrical wiring, plumbing piping, gas lines and etc. between interior and exterior wall surfaces is unknown and not accessible for inspection.

Note: Defective drywall from China has been used in construction of some homes during this decade. Identifying this material is beyond the scope of this home inspection. Chemical analysis (testing) of the material could be used to determine if the drywall is defective. See articles regarding this issue using an internet search and/or other relative periodical relating to “defective Chinese drywall.”

Note: Inspector will not move rugs, furnishings, and equipment or storage items to access areas (i.e. closets) to be inspected.

Mortar improvements are required on the exterior masonry veneer.

Note: Areas across exterior walls appear to be cosmetic @ this time, as areas of concern may or may not further damage across locations. See picture(s) below.

The areas between the exterior cladding / veneer and ALL wall penetrations need to be properly sealed such as utility connections, downspouts, hose bibs, lighting fixtures, receptacles, etc.

Note: Sealant provides means for moisture barrier(s) across affected areas, as well as, air tight seal between interior/exterior wall penetration/location areas. See picture(s) below.

There were no weep holes observed @ one or more areas of the structure where necessary.

Note: Under current building standards; there should be open weepholes not less than {3/16"} in diameter on the lower course of the masonry wall and spaced no more than {33"} apart to drain excess water from the interior of the wall voids. Units should also be set over metal lenti areas with respective dimensions. See picture(s) below.



Exposed openings observed along front right exterior porch wall



Sealant not present around left exterior electrical boxes



Exposed openings observed around left exterior a/c venting trim

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Weep hole(s) not present over right exterior metal lintil

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
-------------------------------------	--------------------------	--------------------------	--------------------------

F. Ceilings and Floors

Comments:

Note: Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

Note: Inspector will not move rugs, furnishings, and equipment or storage items to access areas (i.e. closets) to be inspected.

All components were found to be performing and in satisfactory condition at the time of the inspection

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
-------------------------------------	--------------------------	--------------------------	-------------------------------------

G. Doors (Interior and Exterior)

Comments:

Note: Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

The garage entry door is not equipped with a self closing device.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
---	----	----	---



The garage entry door is not equipped with a self closing device.

H. Windows

Comments:

Note: Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

Window unit(s) not functioning properly @ interior location(s).

Note: Recommend required adjustments and/or further evaluation by a licensed window contractor for proper functioning and/or fire escape measures. See picture(s) below.

One or more of the windows were observed to be difficult to operate.

Note: Recommend evaluation across all windows to lubricate and/or other measure to provide easier access to opening windows.

Safety glass is required in an individual or fixed panel adjacent to a door where the nearest vertical edge is within a {24"} arc of the door in a closed position and the bottom edge is less than {60"} above the floor or walking surface

Safety glass not present @ front door glass inserts per current standards.

Note: Glass inserts @ exterior doors should have safety/tempered glass per standards. For additional information, please refer to "TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES" @ the beginning of this inspection report.

One or more of the windows were observed to be difficult to operate.

Note: Recommend evaluation across all windows to lubricate and/or other measure to provide easier access to opening windows.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
---	----	----	---

Window unit(s) not functioning properly @ interior location(s).

Note: Recommend required adjustments and/or further evaluation by a licensed window contractor for proper functioning and/or fire escape measures. See picture(s) below.



Safety glass not present at front door and side (Left) Window not opening properly; (Right) lite windows **Window not staying open**

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	I. Stairways (Interior and Exterior)
--------------------------	--------------------------	-------------------------------------	--------------------------	---

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	J. Fireplaces and Chimneys
-------------------------------------	--------------------------	--------------------------	--------------------------	-----------------------------------

Locations: Fireplace is located in the family room
 Comments:

Note: Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

All accessible components were found to be performing and in satisfactory condition at the time of the inspection.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	K. Porches, Balconies, Decks, and Carports
--------------------------	--------------------------	-------------------------------------	--------------------------	---

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. Other
-------------------------------------	--------------------------	--------------------------	-------------------------------------	-----------------

Comments:

Note: Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

Home automation & security systems were not part of this inspection.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

Various storage/debris observed across left exterior wall.

Note: Recommend removing storage/debris along path for accessibility measures. See picture below.



Various storage/debris observed across left exterior wall

II. ELECTRICAL SYSTEMS

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
-------------------------------------	--------------------------	--------------------------	-------------------------------------

A. Service Entrance and Panels

Panel Locations: Disconnect/distribution panel(s) located @ left exterior wall location(s).

Comments:

Note: Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

Note: Superior Real Estate Inspections (SREI) accepts no responsibility or liability for any omission in its inspection or the report related to the defects or irregularities which are not reasonably visible at the time of inspection or which relate to components of the home. In regards to plumbing, electrical & gas lines, it should be noted that we are not plumbers or electricians & any comment made is not that of a plumbing or electrical contractor. This does not constitute a warranty of any kind. If there is a question or concern about proper bonding/grounding of plumbing, electrical, gas lines, or if any lines are Corrugated Stainless Steel Tubing (CSSI), SREI recommends that client hire/advise with an electrical or plumbing contractor to inspect such concern.

Bonding clamps/grounding wires did not appear to be present along accessible/visible gas and/or water piping during inspection.

Note: Grounding electrodes and bonding clamps may or may not be present across areas inaccessible to the inspector. Recommend an electrical contractor for further evaluation.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
---	----	----	---

Ground rod does not appear to be fully installed into soil and/or improper ground clamp observed @ this time.

Note: The electrical grounding system is intended to mitigate the risk of faults & direct electrical energy to ground rather than through alternative paths including fixtures, appliances, outlets, & human bodies. The less contact with earth, the less effective the electrical grounding path. Clamps should be rated for use with grounding electrodes & for direct burial. Improper clamps will generally be too loose for a proper electrical connection and/or may corrode/fail when buried or exposed to weathering.

Arc-fault breakers **{AFCI}** did not appear to be present for all habitable rooms @ the service panel @ the time of the inspection.

Note: This may not have been a requirement when the home was built. Beginning in 2008; AFCI breakers are required in the panel for 15A/20A branch circuits providing power to family rooms, dining rooms, living rooms, libraries, dens, bedrooms, sunrooms, recreation rooms, closets and hallways. ARCI breakers provide fire protection by opening the circuit when an arcing fault is detected.

The service panel is not completely and/or properly labeled.

Note: All breakers must be specifically identified as to (mechanical) appliances, lighting, & receptacles.

Some level of corrosion and/or animal droppings was observed in the service panel. See picture below.

Multiple wires observed to feed inside interior panel.

Note: Wiring should be appropriately separated across multiple areas to eliminate bundled and/or other contacted areas. There did not appear to be any safety/sparking hazards during inspection, as current standards promote separating wires across interior location. Wiring from generator appears to provide bunding areas during the inspection. See picture below.

A/C breaker appears to over/under amped per exterior condenser manufacturer's specifications.

Note: Min./max. appeared to be higher amperage for panel unit during inspection. Recommend evaluation from a licensed HVAC and/or electrical contractor. See picture below of breaker(s).

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

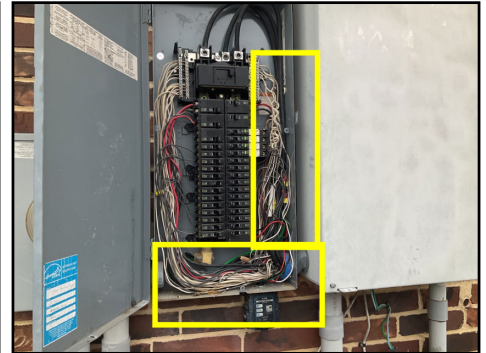
I	NI	NP	D
---	----	----	---



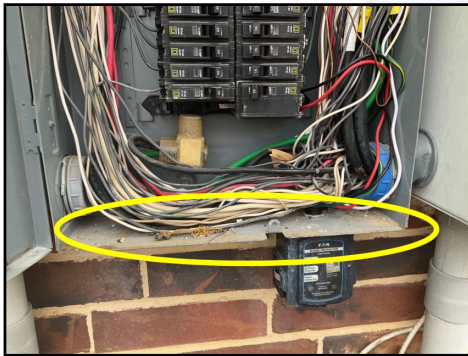
Ground rod does not appear to be fully installed into soil and/or improper ground clamp observed @ this time.



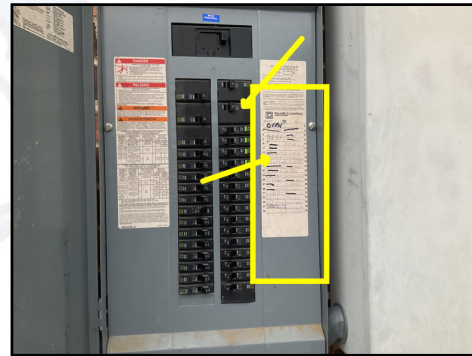
Disconnect/distribution panel inspected



Excessive/bundled wiring noted inside panel



Some level of corrosion and/or animal droppings was observed in the service panel



(Rectangle) Some breaker labeling crossed out along panel trim (A/C breaker appears to be under and over amped if breakers correspond (Arrows) from condenser to labeled breakers. Recommend an electrical contractor for further evaluation)

x			x
---	--	--	---

B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring: Copper wiring
 Comments:

Note: Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

Note: Inspector will not move rugs, furnishings, and equipment or storage items to access areas (i.e. closets, electrical panels, attic spaces, etc.) to be inspected.

The **GFCI** (ground fault circuit interrupter) breaker not functional @ one or more location(s).

Note: GFCI protection is required on 15A/20A circuits providing power to

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

kitchens, bathrooms, garages, laundry rooms, exterior receptacles, pools, spas and whirlpool tubs. GFCI receptacles are required in the kitchen within {2'} of the sink and bathroom within {3'} of the sink edge.

Smoke detectors were not evaluated during inspection. These were not evaluated as units may be connected to alarm system and/or possibly linked to smart devices.

Note: It is recommended that additional smoke & carbon monoxide detectors be installed in accordance with current building standards. The NFPA {National Fire and Protection Agency} recommends one smoke alarm on each level, every bedroom and adjoining hallway per compliance. For additional information regarding detectors, please review the "TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES" previous discussed in this inspection report.



The GFCI (ground fault circuit interrupter) breaker not functional @ one or more location(s).

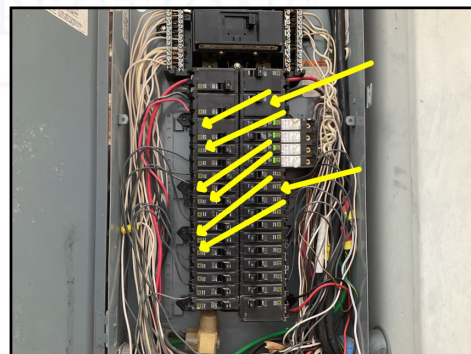


Attic receptacle does not appear to be GFCI protected

C. Other



Left exterior generator and other respective components not part of the inspection



Several breakers along panel not wired (For observatory purposes only)

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

A. Heating Equipment

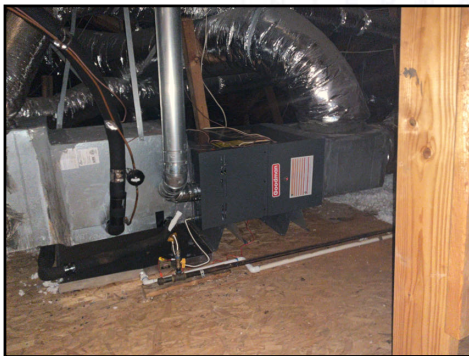
Type of Systems: Central Forced Air System
 Energy Sources: Gas
 Comments:

Note: Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

Manufacturer: Goodman . Specifications are pictured below for unit(s).

Please note that to properly inspect the heat exchanger; the unit must be physically dismantled and heat exchangers removed for examination. Due to the limitations of the Texas Real Estate Commission {TREC}; this procedure is prohibited and the inspection of the heat exchanger was limited

The unit appeared to be functioning as intended at the time of the inspection.



Back attic furnace unit inspected



Right attic furnace unit inspected

B. Cooling Equipment

Type of Systems: Central Forced Air System
 Comments:

Note: Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

Note: The exact age of the HVAC system could not be determined. Inquire with Seller on age of HVAC equipment. This” limited visual inspection”

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

does not provide a complete evaluation of the HVAC system and does not address remaining life of the components.

Note: Additional information should be obtained prior to the end of the option period on previous maintenance and repairs/replacements to the system, from sellers.

Note: The system has not been dismantled or checked for proper sizing of the system to efficiently cool or heat the house. The system has not been checked to insure all components of the system are "compatible" and properly sized, which is beyond the scope of this inspection.

Note: If no maintenance on A/C systems has been performed in the last year, It is "highly recommended" that "HVAC systems" are further evaluated prior to the end of the option period by an HVAC contractor.

Note: Historically HVAC systems have an average life of 10 to 12 years. Recommend buyer inquire as to age of HVAC (components). This knowledge and/or information will allow the buyer to estimate the remaining life expectancy of the components and plan accordingly. Some HVAC have a longer shelf life, check with the appliance manufacturer or HVAC contractor for more information.

Note: Unit(s) located along exterior left was a(n) Goodman product. Pictured below is the manufacturer's specifications for unit(s) inspected.

Note: The cooling system condensers appear to be aging appliances, as it is recommended to have an HVAC contractor further evaluate units for overall integrity.

Rust and/or corrosion was noted in the condensate drip pan.

Note: Rusting appeared to be present along interior surface pan & did not appear to penetrate through unit. Pan(s) should be further evaluated by an HVAC contractor for future integrity. See picture below.

No P-Trap was visible on the condensate line and is required under current mechanical standards.

Front half of home: Supply - 68 degrees; Return - 75 degrees; delta T temperature - 7 degrees

Note: Delta T temperature was not between 15 - 22 degrees @ time of inspection. Unit(s) should be evaluated for compliance respective temperature prior to acceptance of property.

Back half of home: Supply - 45 degrees; Return - 63 degrees; delta T

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

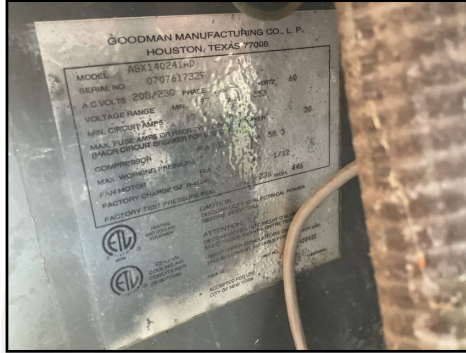
I	NI	NP	D
---	----	----	---

temperature - 18 degrees.

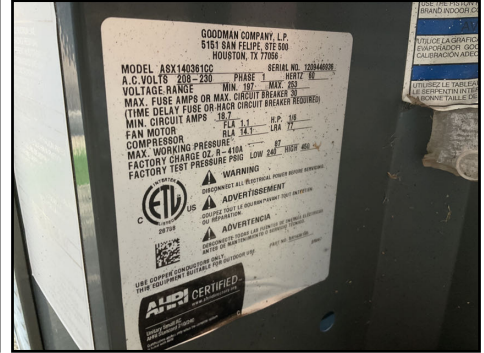
Note: Delta T temperature was between 15 - 22 degrees @ time of inspection. It is recommended to have yearly maintenance/service regarding cooling system to maintain proper compliance temperatures and/or other proper functioning.



Left exterior condenser units inspected



Left exterior, front unit inspected



Left exterior, back unit inspected



No P-Trap was visible on the condensate line and is required under current mechanical standards.



Significant rusting observed inside right attic pan

C. Duct Systems, Chases, and Vents

Comments:

Note: Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

Various supply/return ductwork inside attic in contact with each other.

Note: Duct runs without clearance can affect the performance of the Heating & Cooling equipment. When 2 cold duct lengths are in contact within a hot attic space, condensation may form causing moisture damage to insulation & drywall. See picture below.

I=Inspected

NI=Not Inspected

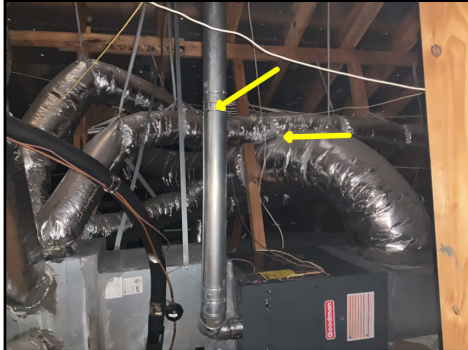
NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

Filter(s) dirty inside home @ air return locations.

Note: Filters should be replaced accordingly with manufacturer's specifications. When filters are not changed within timely manner, this may compromise equipment and/or functioning of system.



Ductwork in contact inside attic



Filter(s) dirty inside home @ air return locations.

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	D. Other
--------------------------	-------------------------------------	--------------------------	--------------------------	----------

IV. PLUMBING SYSTEMS

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. Plumbing Supply, Distribution System and Fixtures
-------------------------------------	--------------------------	--------------------------	--------------------------	--

Water meter location: Front left exterior soil near street edge
 Main Water Supply Valve Location: Left interior garage wall
 Comments:

Note: Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

Note: This inspection does not determine the age, composition or condition of the inaccessible and/or non-visual plumbing pipes. Client should be made aware that a complete inspection of the gas, waste and water supply piping using video cameras, hydrostatic and supply line testing will reduce risk as underground plumbing repairs may be expensive.

Note: No leaking/corrosion was detected around accessible drains, tub/shower surfaces, walls, etc. @ time of inspection unless otherwise illustrated below. The inspector is limited across accessible areas as interior wall areas were not observed @ this time. Future performance cannot be warranted or predicted.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

Note: Superior Real Estate Inspections (SREI) accepts no responsibility or liability for any omission in its inspection or the report related to the defects or irregularities which are not reasonably visible at the time of inspection or which relate to components of the home. In regards to plumbing, electrical & gas lines, it should be noted that we are not plumbers or electricians & any comment made is not that of a plumbing or electrical contractor. This does not constitute a warranty of any kind. If there is a question or concern about proper bonding/grounding of plumbing, electrical, gas lines, or if any lines are Corrugated Stainless Steel Tubing (CSST), SREI recommends that client hire/advise with an electrical or plumbing contractor to inspect such concern.

Type of Supply Piping Material: PEX materials observed across all accessible locations

All components were found to be performing and in satisfactory condition on the day of the inspection.



Water shutoff appears to be located along left interior wall



Water meter located along front left exterior

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
-------------------------------------	--------------------------	--------------------------	--------------------------

B. Drains, Wastes, and Vents

Comments:

Note: Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

Note: Testing of utility room drainage system is beyond the scope of this inspection. It is recommended to have unit evaluated prior to closing and/or acceptance of property.

Type of Drain Piping Material: PVC appears to be across all accessible locations

Note: The exterior main clean out was located @ the front of the structure.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

For observatory purposes only. See picture below.



Sewer tap observed along front exterior

C. Water Heating Equipment

Energy Source: Water heater is natural gas • **Water heater(s)** located in the attic
Capacity: 2 tankless units observed
Comments:

Note: Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

Note: Superior Real Estate Inspections (SREI) accepts no responsibility or liability for any omission in its inspection or the report related to the defects or irregularities which are not reasonably visible at the time of inspection or which relate to components of the home. In regards to plumbing, electrical & gas lines, it should be noted that we are not plumbers or electricians & any comment made is not that of a plumbing or electrical contractor. This does not constitute a warranty of any kind. If there is a question or concern about proper bonding/grounding of plumbing, electrical, gas lines, or if any lines are Corrugated Stainless Steel Tubing (CSST), SREI recommends that client hire/advise with an electrical or plumbing contractor to inspect such concern.

The water temperature at the faucet locations was noted to exceed the {120 degree} scald limit & adjustments on the temperature control are recommended.

TPR (Temperature Pressure Relief) valve not accessed due to potential liability concerns.

Note: Any home occupied and/or if valve is compromised, in accordance with, any potential malfunction and/or harm to dwelling is not evaluated. Proper evaluation should be done through a licensed plumber.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

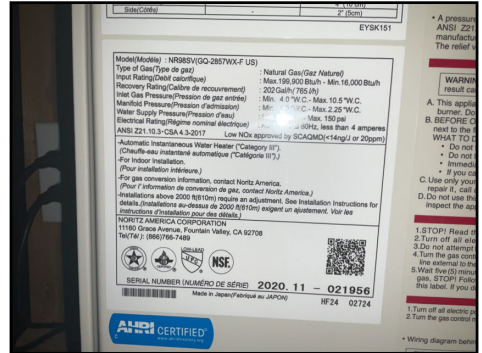
I	NI	NP	D
---	----	----	---



Sealant does not appear to be present around back flue piping (Piping does not appear to be proper height (3' above roof) per standards and recommend a plumbing contractor for further evaluation)



2 attic tankless water heaters inspected



Left tankless unit manufacturer specifications



Right tankless unit manufacturer specifications



Both consoles read 130 degrees during the inspection

x			x
---	--	--	---

D. Hydro-Massage Therapy Equipment

Comments:

Note: Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

Note: The hydromassage therapy equipment was located in the primary bathroom.

The motor beneath the component may or may not be properly grounded and/or bonded to the copper water supply.

Note: All metal piping and grounded metal parts in contact with the circulating water shall be bonded together using a solid copper bonding jumper, insulated or bare conductor and not less than {8AWG}. The

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
---	----	----	---

inspector did not have accessibility to view this location.

It was observed that no access panel{s} were readily available to view the motor and/or equipment lines.

Note: Standards call for accessible means to evaluate mechanicals under tub location.

Dirt/debris observed to be set inside master tub location once jets were functional.

Note: Interior tub & jet system should be cleaned/evaluated prior to usage/acceptance of property.

The on/off button was not functioning properly.

Note: All respective components for primary tub should be further evaluated by a qualified contractor for proper functioning, GFCI protection and other respective components relative to functioning of tub. This should be evaluated prior to acceptance of property for safety measures.



The hydromassage therapy equipment was located in the primary bathroom; (Arrow) Accessible panel not present for primary tub

Dirt granules observed inside primary tub from water spigot (Recommend a plumbing contractor for further evaluation)

E. Gas Distribution Systems and Gas Appliances

Location of Gas Meter:

- Left exterior wall

Type of Gas Distribution Piping Material:

- Black pipe (Metal)

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Gas meter located along left exterior

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F. Other
-------------------------------------	--------------------------	--------------------------	-------------------------------------	-----------------

Comments:

Note: Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

Gouged/chipped surface(s) observed across one or more interior tub surfaces.

Note: Area(s) of concern did not appear to penetrate through surface(s) during inspection, as surface areas affected should be evaluated by tub manufacturer and/or other qualified contractor(s). See picture below.

Cracked/damaged/missing sealant across various plumbing components to wall/floor location(s).

All areas across wall/plumbing sources, tubs and/or other bathroom components should be sealed to eliminate moisture to penetrate these area(s). See picture(s) below.

Cracking observed along right toilet location.

Note: Cracking appears to be a hairline appearance in my opinion, as it unit should be monitored for future performance and/or plumbing contractor should evaluate. See picture(s) below.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Left interior garage plumbing manifold inspected



Right interior garage plumbing manifold inspected



Gouged/chipped surface(s) observed across one or more interior tub surfaces.



Drainage line appears over attic platform walkway (Safety/tripping hazard observed)



Damaged/organic growth observed along sealant under primary shower seat to wall



Hairline cracking appears t be present at right bathroom toilet



PSI measured between 66 - 70 range

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
---	----	----	---

V. APPLIANCES

A. Dishwashers

Comments:

Note: Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

Manufacturer: Whirlpool

Lack of a proper air gap noted and/or high loop drain line at dishwasher.



Kitchen dishwasher unit inspected



Unit manufacturer specifications

B. Food Waste Disposers

Comments:

Note: Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

Unit was operational and functional at the time of the inspection.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Kitchen sink disposer unit inspected

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
-------------------------------------	--------------------------	--------------------------	--------------------------

C. Range Hood and Exhaust Systems

Comments:

Note: Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

The range hood was functional at the time of the inspection.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
-------------------------------------	--------------------------	--------------------------	-------------------------------------

D. Ranges, Cooktops, and Ovens

Comments:

Note: Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

Oven(s): Electric

Manufacturer: Whirlpool

Cook top(s): Gas

Manufacturer: Whirlpool

There should be a minimum of {24"} clearance above the cook top to any non-combustible materials

Oven(s) was functional at the time of the inspection.

Cook top(s) was functional at the time of the inspection.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Upper oven unit temperature measured when set to 350 degrees

Lower oven unit temperature measured when set to 350 degrees

E. Microwave Ovens

Comments:

Note: Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

Manufacturer: Whirlpool

Built-in microwave ovens are tested using normal operating controls. Unit was tested and appeared to be serviceable at time of inspection. Microwaves were detected with tester during inspection. Leak and/or efficiency testing is beyond the scope of this inspection. If concerned, client should seek further review by qualified technician prior to closing.

F. Mechanical Exhaust Vents and Bathroom Heaters

Comments:

Note: Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

The bath fan{s} were functioning as intended at the time of inspection.

G. Garage Door Operators

Comments:

Note: Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
---	----	----	---

but are not limited to:

The overhead garage door{s} were functional at the time of the inspection.

H. Dryer Exhaust Systems

Comments:

Note: Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include but are not limited to:

Could not fully inspect the dryer vent as it is enclosed in cabinetry or within the wall cavity.

Note: Piping was not viewed entirely and/or tested from initial to end termination points. It is recommended to have a licensed HVAC contractor to verify piping length and/or other functioning components prior to acceptance of property.

I. Other



Kitchen refrigerator not part of the inspection



Utility room appliances not part of the inspection



Interior garage water filter system not part of the inspection

VI. OPTIONAL SYSTEMS

A. Landscape Irrigation (Sprinkler) Systems

Comments:

Note: Items noted during the visual/accessible inspection that were deemed deficient, are in need of repair, potential safety hazard, restoration, adjustment, that require evaluation/comment, continuation of the due diligence process and/or servicing or items noted for information include

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
---	----	----	---

but are not limited to:

NOTE: Some municipalities now require "rain and freeze sensors" be installed on all new and pre-existing sprinkler systems. Please contact your local municipality for rain and freeze sensor requirements as this Inspector does not maintain a list for each township and/or governing authority

Note: Sprinkler system had 9 functional zones @ time of inspection.

Various head(s) spraying along exterior wall(s).

Note: Recommend adjustments to spray off exterior wall location(s).

Insulation damaged/missing @ backflow location.

Note: Recommend insulation across all exposed piping areas.



Interior garage console



Damaged insulation observed around irrigation piping



Various head(s) spraying along exterior wall(s).

- B. Swimming Pools, Spas, Hot Tubs, and Equipment**
- C. Outbuildings**
- D. Private Water Wells (A coliform analysis is recommended)**
- E. Private Sewage Disposal Systems**
- F. Other Built-In Appliances**
- G. Other**